

FIRE DEPARTMENT:

WATER SUPPLY REQUIREMENTS
POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT, CONTRACTOR, SUBCONTRACTOR OR CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT. 4 TO COMPLY WITH THE REQUIREMENTS OF THE PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF THE SUPPRESSION SYSTEM CONNECTED TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY. FINAL APPROVAL OF THE SYSTEM SHALL NOT BE GRANTED UNTIL COMPLIANCE HAS BEEN MET 4 DOCUMENTED. CFC 908.9.8 4 HEALTH 4 SAFETY CODE 19114.7

CONSTRUCTION SITE FIRE SAFETY
ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 39 4 STANDARD DETAIL 901.

ADDRESS IDENTIFICATION
PROVIDE ADDRESS NUMBERS PLAINLY LEGIBLE 4 VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MIN. 4" HIGH WITH A MIN. STROKE WIDTH OF 1/2". WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD 4 THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN SHALL BE USED TO IDENTIFY THE STRUCTURE. CFC 908.1, CFC RS19.

FIRE SPRINKLERS REQUIRED:
AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL BE INSTALLED. THE OWNER, 4 ANY CONTRACTOR OR SUBCONTRACTOR ARE RESPONSIBLE FOR CONSULTING WITH THE WATER PURVEYOR OF RECORD IN ORDER TO DETERMINE IF ANY MODIFICATION OR UPGRADE OF THE EXISTING WATER SERVICE IS REQUIRED. A STATE OF CALIF. LICENSED (G-16) FIRE PROTECTION CONTRACTOR SHALL SUBMIT PLANS, CALCULATIONS, A COMPLETE PERMIT APPLICATION TO THE FIRE DEPARTMENT FOR REVIEW 4 APPROVAL PRIOR TO BEGINNING THEIR WORK. CFC 915.2
EMERGENCY GATE/ACCESS GATE REQUIREMENTS:
GATE INSTALLATIONS SHALL CONFORM WITH FIRE DEPARTMENT STANDARD DETAILS 4 SPECIFICATIONS 6-1 4 WHEN OPEN SHALL NOT OBSTRUCT ANY PORTION OF THE REQUIRED WIDTH FOR EMERGENCY ACCESS ROADWAYS OR DRIVEWAYS. LOOKS, IF PROVIDED, SHALL BE FIRE DEPARTMENT APPROVED PRIOR TO INSTALLATION. GATES ACROSS THE EMERGENCY ACCESS ROADWAYS SHALL BE EQUIPPED WITH AN APPROVED ACCESS DEVICES. MANUAL GATES SHALL HAVE AN APPROVED KNOX PADLOCK. CFC 9 509.6 4 509

GENERAL NOTES:

SURVEYING CONTROLS: HORIZONTAL 4 VERTICAL CONTROLS SHALL BE SET 4 CERTIFIED BY A LICENSED SURVEYOR OR REGISTERED CIVIL ENGINEER QUALIFIED TO PRACTICE LAND SURVEYING, PRIOR TO CONSTRUCTION

PRIOR TO FOUNDATION INSPECTION BY THE CITY: A LICENSED LAND SURVEYOR OF RECORD SHALL PROVIDE A WRITTEN CERTIFICATE THAT ALL BUILDING SETBACKS COMPLY WITH THE APPROVED PLANS.

ENCROACHMENT PERMIT: APPLICANT (OWNER) SHALL OBTAIN AN ENCROACHMENT PERMIT FOR ANY 4 ALL IMPROVEMENTS IN ANY CITY RIGHT-OF-WAY OR CITY EASEMENT INCLUDING THE STORMWATER SHALL PRIOR TO COMMENCEMENT OF THE WORK.

CONSTRUCTION WADDELS SHALL BE INSTALLED ALONG STREET SIDES TO PREVENT EROSION DURING RAINY SEASON.

SILT AND MUD IN PUBLIC RIGHT-OF-WAY: IT IS THE RESPONSIBILITY OF THE CONTRACTOR 4 HOMEOWNER TO MAKE SURE THAT ALL DIRT TRACKED INTO THE PUBLIC RIGHT-OF-WAY IS CLEANED UP ON A DAILY BASIS. MUD, SILT, CONCRETE 4 OTHER CONSTRUCTION DEBRIS SHALL NOT BE WASHED INTO THE STORM DRAINS.

DOCUMENTATION SHALL BE PROVIDED, PRIOR TO FIRST INSPECTION, CONFIRMING COMPLIANCE TO THE WASTE MANAGEMENT PLAN PROVIDED TO THE JURISDICTION. CGBSC SECTION 4.409.2.1

CONSTRUCTION SITE FIRE SAFETY: ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 39 4 OUR STANDARD DETAIL 4 SPECIFICATION S-I-7.

A COMPLETED CP2R-LTG-01-E FORM MUST BE PROVIDED TO THE CITY/TOWN BUILDING INSPECTOR, PRIOR TO FINAL INSPECTION.

WATER SUPPLY REQUIREMENTS: POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT 4 ANY CONTRACTOR, 4 SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT, 4 TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS, 4/OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD. FINAL APPROVAL OF THE SYSTEM UNDER CONSIDERATION WILL NOT BE GRANTED BY THIS OFFICE UNTIL COMPLIANCE WITH THE REQUIREMENTS OF THE WATER PURVEYOR OF RECORD ARE DOCUMENTED BY THAT PURVEYOR AS HAVING BEEN MET BY THE APPLICANT. CFC SEC. 908.9.8 4 HEALTH 4 SAFETY CODE 19114.7

THE BUILDER MUST PROVIDE THE HOMEOWNER WITH A LUMINAIRE SCHEDULE (AS REQUIRED IN TITLE 24 CALIFORNIA CODE OF REGULATIONS, PART 1 910.102(B)) THAT INCLUDES A LIST OF LAMPS INSTALLED IN THE LUMINAIRES.

A. ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, 4 AEROSOL PAINT CONTAINERS MUST REMAIN ON THE SITE FOR FIELD VERIFICATION BY THE BUILDING INSPECTOR.

B. PRIOR TO FINAL INSPECTION, A LETTER SIGNED BY THE GENERAL CONTRACTOR OR THE OWNER/BUILDER (FOR ANY OWNER/BUILDER PROJECTS) MUST BE PROVIDED TO THE TOWN OF LOS GATOS BUILDING OFFICIAL, CERTIFYING THAT ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AEROSOL PAINTS, AEROSOL COATINGS, CARPET SYSTEMS (INCLUDING CARPETING, CUSHION 4 ADHESIVE), RESILIENT FLOORING SYSTEMS, 4 COMPOSITE WOOD PRODUCTS INSTALLED ON THIS PROJECT ARE WITHIN THE EMISSION LIMITS SPECIFIED IN CGBSC SECTION 4.50.

AN OPERATION 4 MAINTENANCE MANUAL WILL BE LEFT ON SITE FOR THE OWNER OR OCCUPANT AT THE TIME OF FINAL INSPECTION. CGBSC 4.410.1

HERS VERIFICATION REQUIRED FOR INDOOR AIR QUALITY VENTILATION, THE KITCHEN HOOD, HVAC COOLING, HVAC DISTRIBUTION, PROVIDE 3RD PARTY VERIFICATION (HERS) TO PROJECT BUILDING INSPECTOR, PRIOR TO FINAL INSPECTION.



The Rouleau Residence



PROJECT DIRECTORY	
ARCHITECT: Kohl Saat & Associates 51 University Ave, Ste. L Los Gatos, Ca. 95030 TEL: (408) 395-2555	CIVIL ENGINEER: Hanna Brunetti 7651 Egleberry St. Gilroy, Ca 95020 TEL: (408) 842-2173
STRUCTURAL ENGINEER 4X Engineering INC. 4340 Stevens Creek Blvd Ste 240 San Jose, Ca. 95129 TEL: (408) 642-5464	SOIL ENGINEER: Silicon Valley Soil engineering 2391 Zanker Rd. Ste 350 San Jose, Ca 95131 Tel: (408) 842-2173
ENERGY CONSULTANT: Monterey Energy Group 26465 Carmel Rancho Blvd, #8 Carmel, Ca 93923 TEL: (831) 372-8328	
CODE COMPLIANCE	
THIS PROJECT SHALL COMPLY WITH THE 2019 CBC PART 2, CFC PART 2.5, CEC PART 3, CMC PART 4, CFC PART 5, CBEESC PART 6, CHBC PART 8, CBEBC PART 10, CGBSC PART 11 AS WELL AS ALL APPLICABLE STATE 4 LOCAL CODES.	
SCOPE OF WORK	
NEW 504 SF DETACHED GARAGE WITH HALF BATH 4 STORAGE IN THE REAR, INCLUDING A REQUEST FOR A VARIANCE FOR REDUCE SIDE SETBACK.	
DEFERRED SUBMITTAL	
SPRINKLERS	

PROJECT DATA

PROJECT ADDRESS:

17361 E. VINELAND AVENUE
LOS GATOS, CA 95030

OWNER:

AARON & DANA ROULEAU
15681 LOMA VISTA AVENUE
LOS GATOS, CA 95032

APN#:

424-28-022

ZONING:

R-1.5

OCCUPANCY GROUP:

R-3/U

CONSTRUCTION TYPE:

V-B, SPRINKLERED

GROSS & NET SITE AREA:

11,048 SF

AVERAGE SLOPE:

< 5%

ALLOWABLE FLOOR AREA:
(RESIDENCE)

= .35 - (11-5 X .20)
25
= .302 F.A.R. = 3,336 SF

ALLOWABLE FLOOR AREA:
(GARAGE)

= .10 - (11-5 X .07)
25
= .032 F.A.R. = 919 SF

RESIDENCE IS UNDER SEPARATE PERMIT
ALREADY UNDER CONSTRUCTION

FLOOR AREAS:

	EXISTING	DEMO	+ADDITION	PROPOSED
MAIN FLOOR	1,760 SF	0 SF	0 SF	1,760 SF
SECOND FLOOR	1,522 SF	0 SF	0 SF	1,522 SF
TOTAL FLOOR AREA	3,282 SF	0 SF	0 SF	3,282 SF
ACCESSORY STRUCTURE	0 SF	0 SF	36 SF	36 SF
DETACHED GARAGE	0 SF	0 SF	468 SF	468 SF
TOTAL AREA				504 SF

SITE AREAS:

	EXISTING	PROPOSED
RESIDENCE	1,760 SF	1,760 SF
DETACHED GARAGE	0 SF	420 SF
POOL BATH & STORAGE	0 SF	24 SF
COVERED PORCHES & PATIOS	716 SF	716 SF
POOL & SPA	0 SF	840 SF
TOTAL BUILDING COVERAGE	1,760 SF = 15.9%	3,820 SF = 34.6%

POOL & SPA SHALL BE UNDER SEPARATE PERMIT

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A-2	SITE 4 LANDSCAPE PLAN
A-3	GARAGE FLOOR PLAN/ROOF PLAN/ELEC/MECH PLAN
A-4	GARAGE ELEVATIONS/SECTIONS

NOTE:
•The Contractor shall verify all dimensions, elevations and conditions prior to starting any field work.
•Any deviation called by field conditions, or any conditions different from those indicated on the plans shall be brought to the Architects attention prior to installation.

REVISIONS

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ARCHITECT

NO. C-99046
REN. 2-28-23

STATE OF CALIF.

A REMODEL AND ADDITION OF:

THE ROULEAU RESIDENCE

17361 E. VINELAND AVE. LOS GATOS, CA. 95030

COVER SHEET

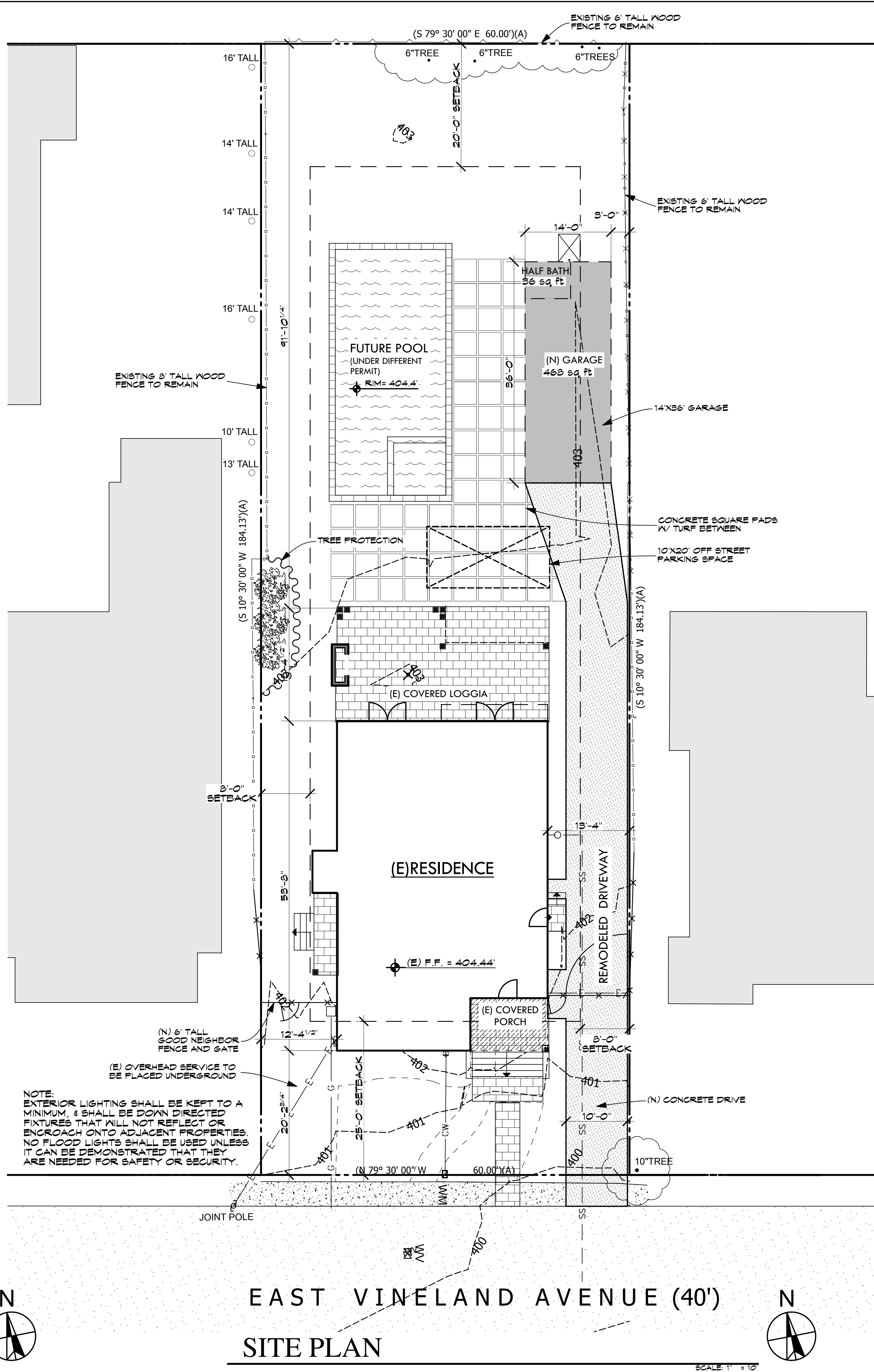
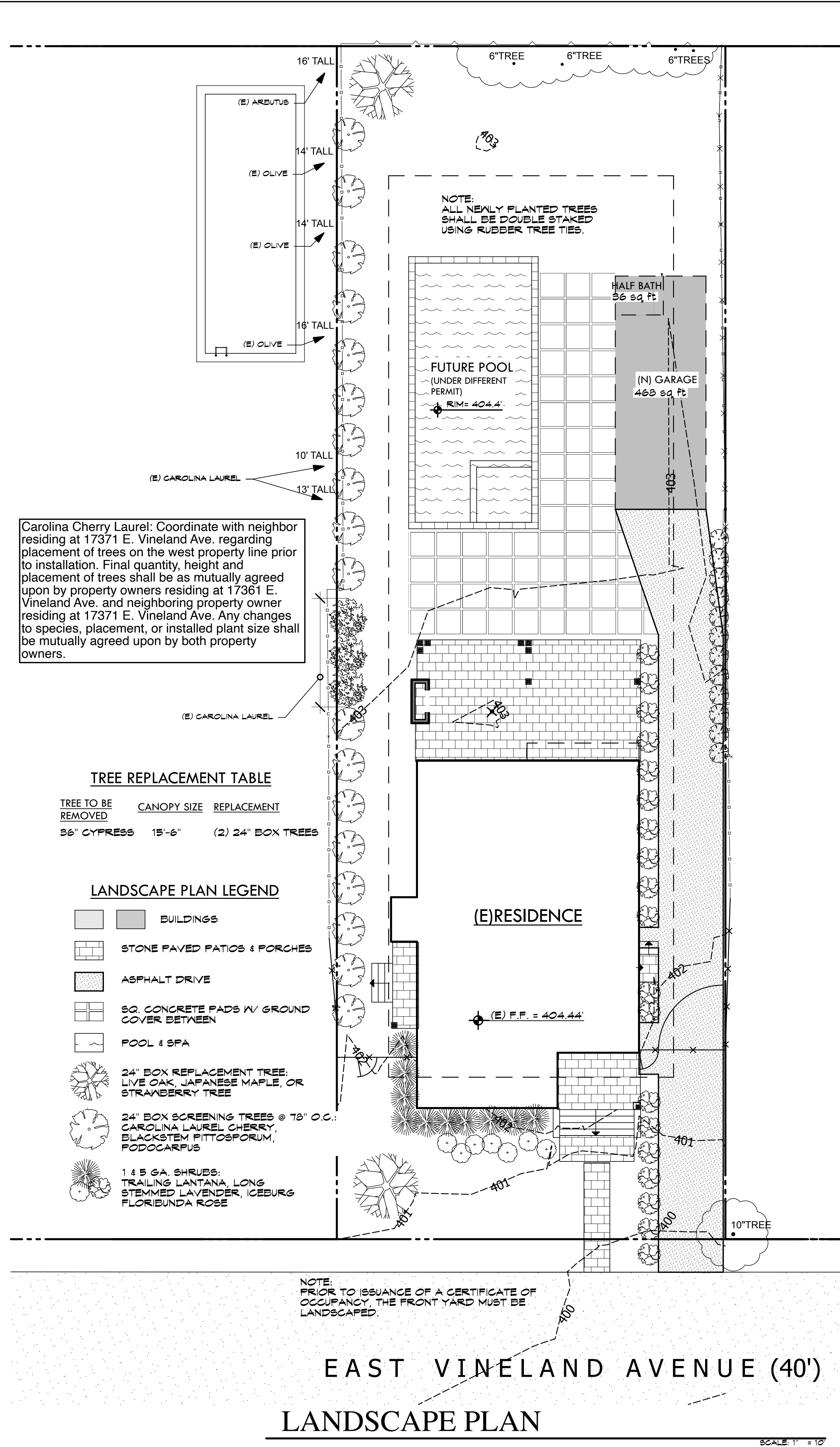
DATE: 8/30/21

SCALE: AS SHOWN

SHEET

A-1

1 OF



REVISIONS	

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ARCHITECT

NO. C 90946
REN. 2-28-23

STATE OF CALIFORNIA

A REMODEL AND ADDITION OF:

THE ROULEAU RESIDENCE

17361 E. VINELAND AVE. LOS GATOS, CA. 95030

SITE & LANDSCAPE
PLAN

DATE: 8/30/21

SCALE: AS SHOWN

SHEET

A-2

OF

Door & Window Schedule											
ID	Room	Nominal W x H	View From Reveal Side	Type	Frame Material	Tempered Glass	Screen	Remarks	Egress	Header Height	
D27	1-Car Garage	9'-0"x8'-0"		Overhead Garage Dr	Solid Core 1 1/2"	Yes	No		No	8'-0"	
D28	Garage	6'-0"x8'-0"		Double Swing	Wood Framed w/ Glass	Yes	No		No	8'-0"	
D29	Garage Bath	2'-6"x8'-0"		Swing	Fiberglass	Yes	No		No	8'-0"	
D30	Garage Storage	2'-6"x8'-0"		Swing	Fiberglass	Yes	Yes		Undefined	8'-0"	
A23	Garage	2'-8"x5'-0"		Casement	Alum Glad Wood Frame	No	Yes		No	8'-0"	

A7.0 MECHANICAL

A7.1 BATHROOM FANS
MECHANICAL EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT & DUCTED TO TERMINATE OUTSIDE THE BUILDING, & SHALL BE CONTROLLED BY A HUMIDISTAT THAT IS CAPABLE OF ADJUSTING THE RELATIVE HUMIDITY BETWEEN 50%-60%. CGESC 4.506.1

A8.0 ELECTRICAL

A8.1 POWER SUB-PANEL
SUB-PANEL-SIZE TO BE DETERMINED BY ELECTRICIAN

A8.2 ELECTRIC VEHICLE CHARGING STATION:
EACH DWELLING UNIT SHALL HAVE INSTALLED A LISTED RACEWAY TO ACCOMMODATE A DEDICATED 208/240 VOLT BRANCH CIRCUIT. THE RACEWAY SHALL NOT BE LESS THAN TRADE SIZE 1 (NOMINAL 1" INSIDE DIAMETER). THE RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR SUBPANEL & SHALL TERMINATE INTO A LISTED CABINET, BOX OR ENCLOSURE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF THE EV SPACE. CONSTRUCTION DOCUMENTS SHALL IDENTIFY THE RACEWAY TERMINATION POINT. THE SERVICE PANEL, &/OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL 40 AMP MIN. DEDICATED BRANCH CIRCUIT & SPACE(S) RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING AS "AS CAPABLE". THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENTLY & VISIBLY MARKED AS "EV CAPABLE". CGESC 4.106.4.1

ROOF LEGEND

- R2 COMPOSITION ROOFING
CLASS "A" PRESIDENTIAL ROOF O/I LAYER LAYFAST SBS T#48 UNDERLAYMENT O/I 1/2" GPK SHEATHING. INSTALL ROOFING PER MANUFACTURER'S INSTRUCTIONS.
- R6 GUTTERS
5" PAINTED GALV. FACIA GUTTERS TO MATCH ROOFING W/A GUTTER COVER THAT PREVENTS THE ACCUMULATION OF LEAVES & DEBRIS
- R7 DOWNSPOUTS
3"x2" RECT. PAINTED GALV. DOWNSPOUTS, TO MATCH ROOFING, TO SPLASH BLOCKS DIRECTED TO VEGETATED AREAS

A1.0 STRUCTURE

- A1.1 6" NOM. STUD WALL
5 1/2" TH. STUD WALL FROM 2X STUDS @ 16" O.C.
- A1.2 EXTERIOR LANDINGS
FLOORS & LANDINGS AT EXTERIOR DOORS: THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL NOT BE LESS THAN THE DOOR SERVED. EVERY LANDING SHALL HAVE A MINIMUM DIMENSION OF 36 INCHES MEASURED IN THE DIRECTION OF TRAVEL. EXTERIOR LANDINGS SHALL BE PERMITTED TO HAVE A SLOPE NOT TO EXCEED 1/4" UNIT VERTICAL IN 12 UNITS HORIZONTAL (2%). CRC R511.5 FLOOR FLOORS AT THE REQUIRED EGRESS DOORS, LANDINGS OR FLOORS AT THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN 1 1/2" LOWER THAN THE TOP OF THE THRESHOLD. EXCEPTION: THE EXTERIOR LANDING OR FLOOR SHALL NOT BE MORE THAN 1 3/4" BELOW THE TOP OF THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR. CRC R511.5.1
- A1.3 PROTECTION OF WOOD & WOOD BASED PRODUCTS AGAINST DECAY
LOCATION REQUIRED
PROTECTION OF WOOD & WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE TREATED IN ACCORDANCE WITH ANFA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE & END USE. PRESERVATIVE SHALL BE LISTED IN SECTION 4 OF ANFA U1.
WOOD SIDING, SHEATHING & WALL FRAMING ON THE EXTERIOR OF A BUILDING HAVING A CLEARANCE OF LESS THAN 6 INCHES FROM THE GROUND OR LESS THAN 2 INCHES MEASURED VERTICALLY FROM CONCRETE STEPS, PORCH SLABS, PATIO SLABS, & SIMILAR HORIZONTAL SURFACES EXPOSED TO THE WEATHER. R511.1

A2.0 FINISHES

- A2.1 5/8" GYPSUM BOARD
5/8" GYPSUM BOARD SHALL BE APPLY THROUGH OUT THE RESIDENCE. TYP. U.S.N.
- A2.2 1 HOUR RATED WALL ASSEMBLY
2X6 STUDS @ 16" O.C. W/1/2" TYPE "X" GYPSUM BOARD APPLY ON THE INTERIOR, MINERAL WOOL INSULATION, 3/4" FLAMELOCK™ ON EXTERIOR W/HARDIE PANEL BOARD & BATTEN SIDING. UL DESIGN U548

A3.0 FENESTRATION

- A3.1 SOLID CORE DOOR 1 1/2"
PROVIDE SOLID CORE DOOR 1 1/2" THICK
- A3.2 WINDOWS
PROVIDE ALUMINUM GLAD WINDOW W/WOOD FRAMED, DUAL GLAZED WINDOWS WITH LOW-E

A4.0 CABINETRY

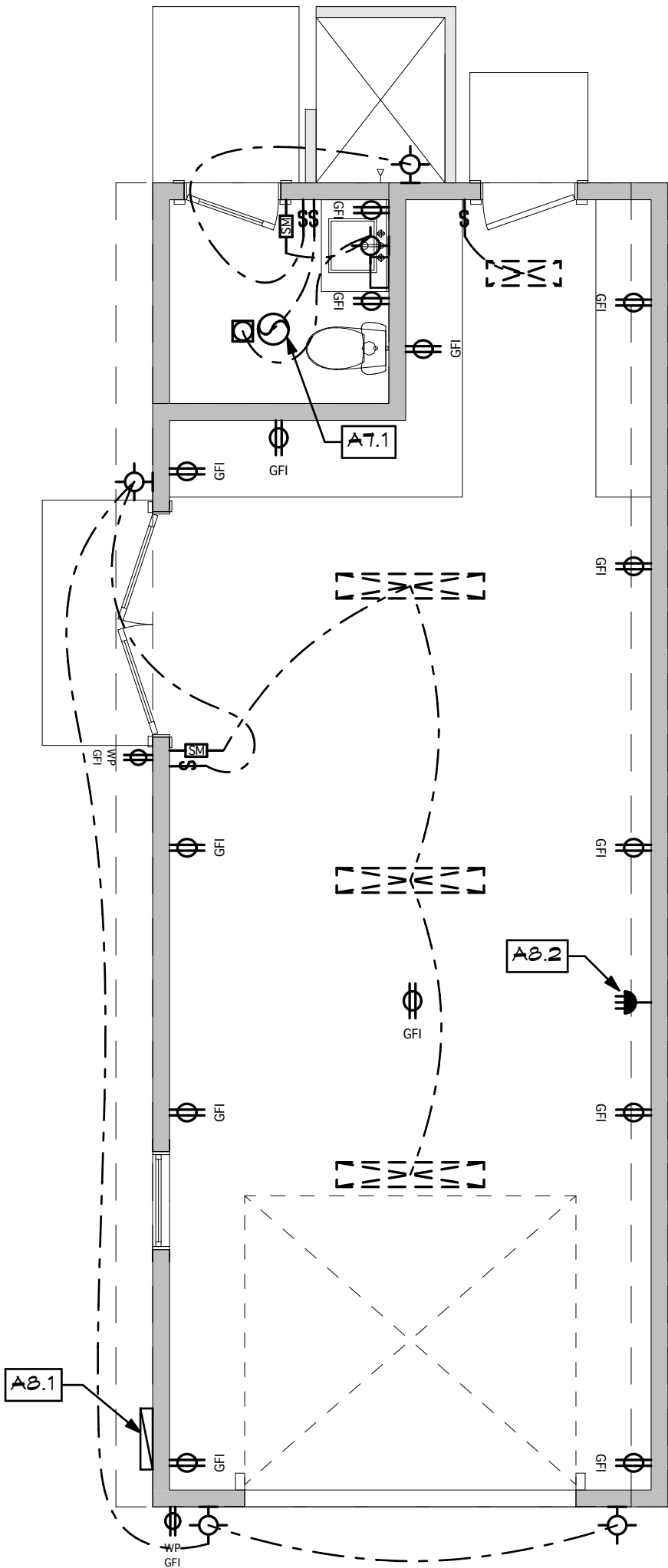
- A4.1 BUILT-IN VANITY
BUILT-IN ENCLOSED VANITY

A5.0 PLUMBING

- A5.1 RECT. SINK(S) IN VANITY CABINET
- A5.2 HIGH-EFFICIENCY TOILET
PROVIDE ONLY HIGH-EFFICIENCY DUAL-FLUSH OR .125 GPF TOILETS. NO FIXTURE SHALL BE SET CLOSER THAN 18" FROM ITS CENTER TO A SIDE WALL. THE CLEAR SPACE IN FRONT OF A WATER CLOSET, LAVATORY, OR BIDET SHALL BE NOT LESS THAN 24". CFC 402.5
- A5.3 POU TANKLESS ELEC. WATER HEATER
POINT OF USE AT TEMPERATURE CONTROLLED TANKLESS ELECTRIC WATER HEATER 3.5 KW/120V OR EQUAL

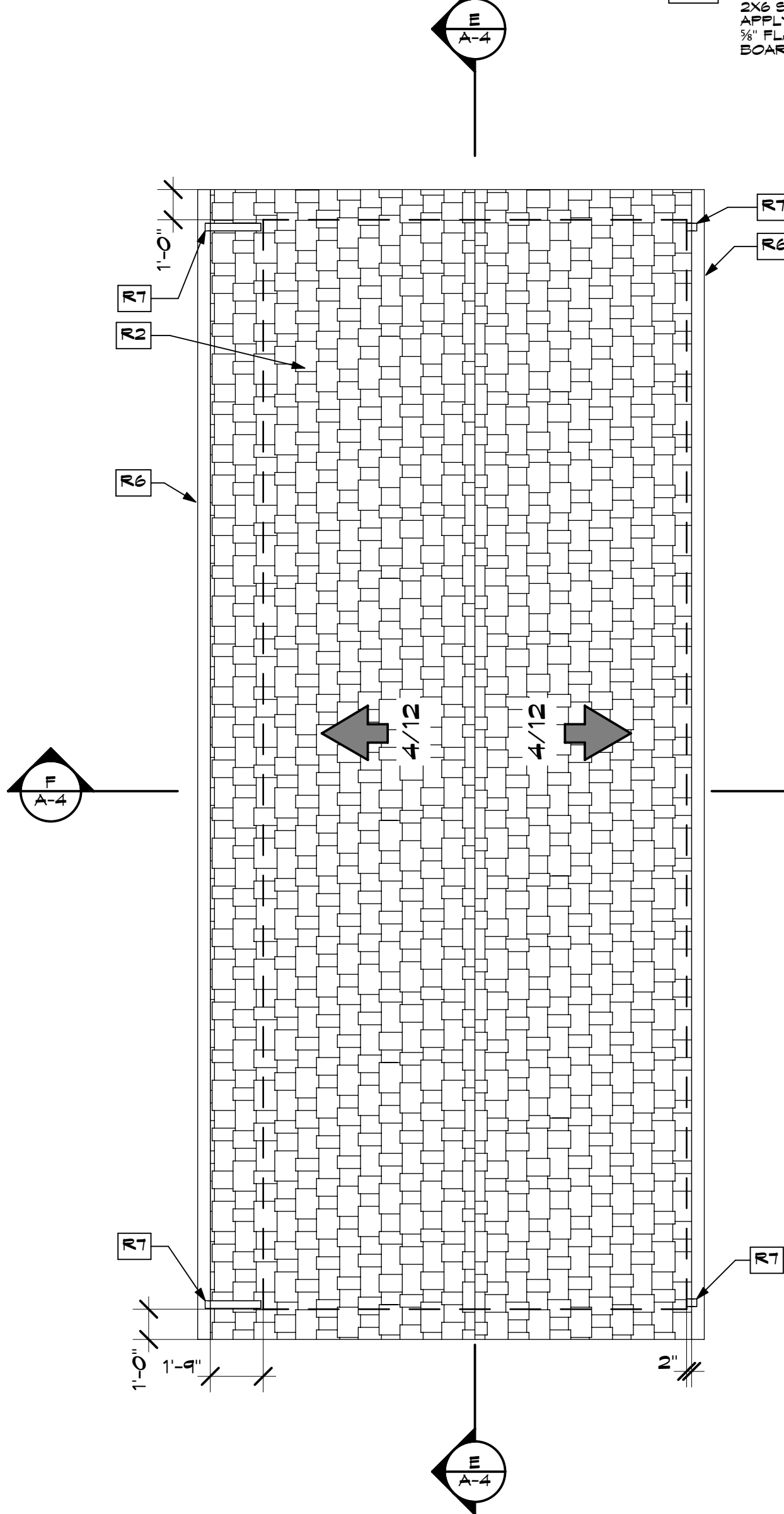
ELECTRIC/MECHANICAL LEGEND

- 125V. DUPLEX AFCI OUTLET
- 125V. DUPLEX GFCI OUTLET
- 125V. WEATHER PROOF GFCI OUTLET
- ELECTRIC VEHICLE CHARGING STATION
- WALL SWITCH
- MANUAL ON MOTION SWITCH (MOTION SENSOR SHALL ONLY BE OPERATIONAL WHEN IN ON POSITION)
- 4" RECESSED LED CAN
- WALL MTD LED FIXTURE
- SURFACE MOUNTED LED LIGHTS
- 100 CFM EXHAUST FAN - ENERGY STAR RATED, VENTED TO EXTERIOR
- HOSE BIBB
- SUB-PANEL



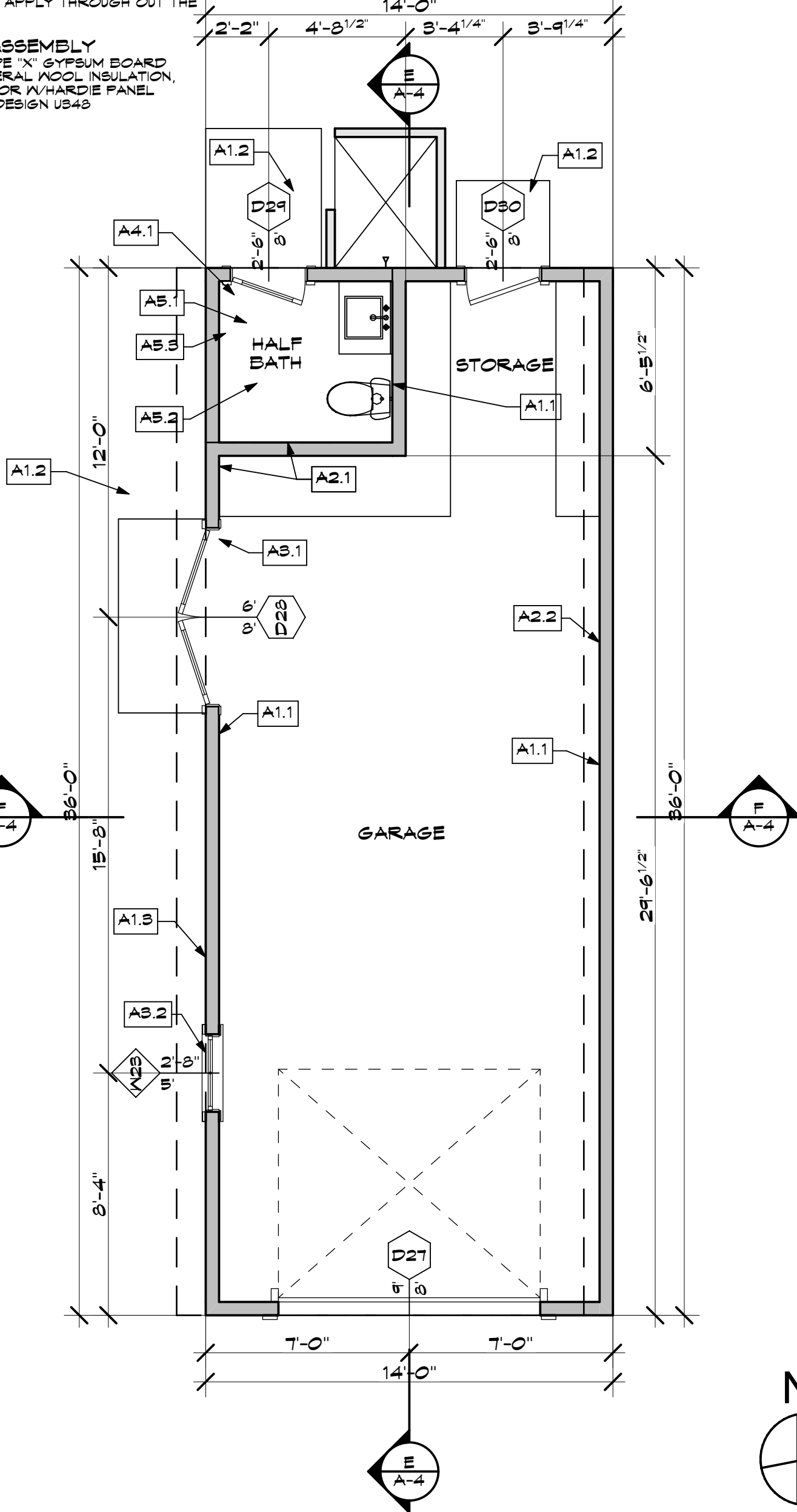
GARAGE ELEC/MECH

SCALE: 1/4" = 1'-0"



ROOF PLAN

SCALE: 1/4" = 1'-0"



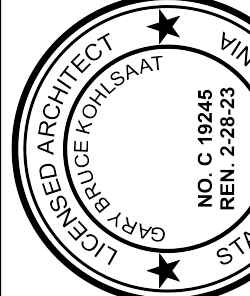
PROPOSED MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"

REVISIONS

NO.	DESCRIPTION

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GARAGE FLOOR
PLAN/ROOF
PLAN/ELEC/MECH
PLAN

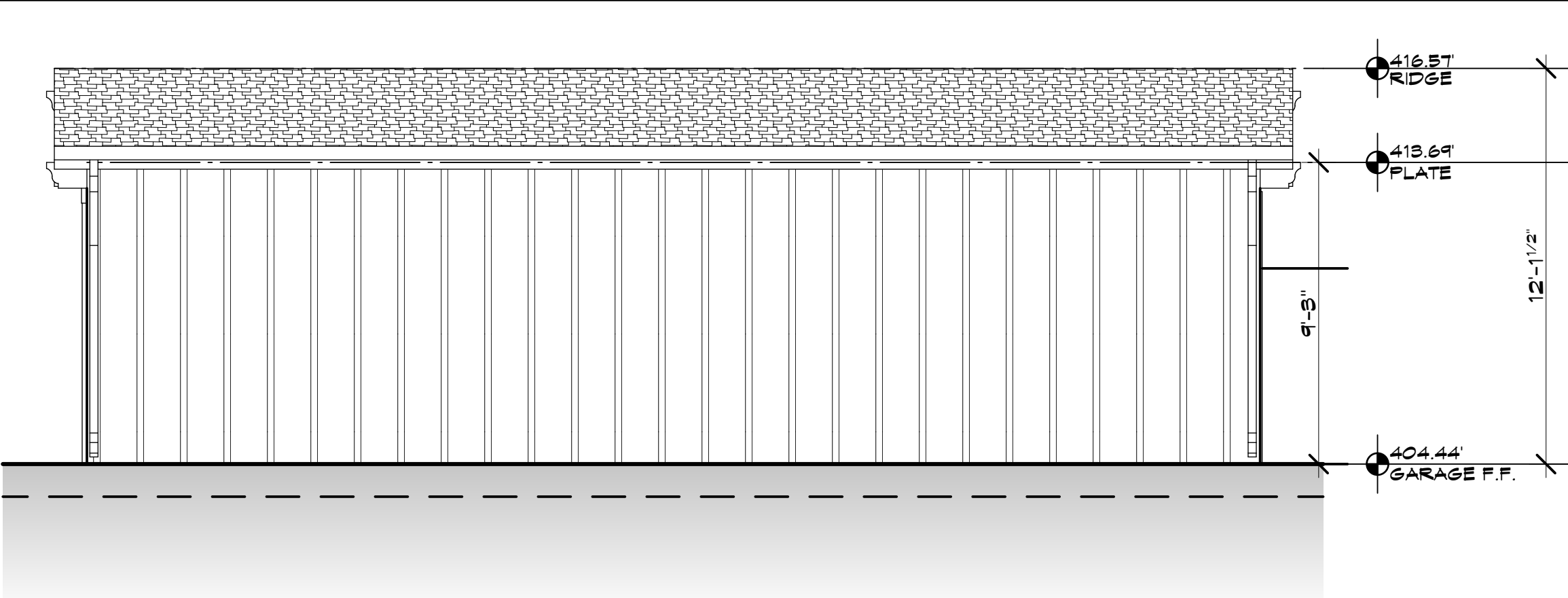
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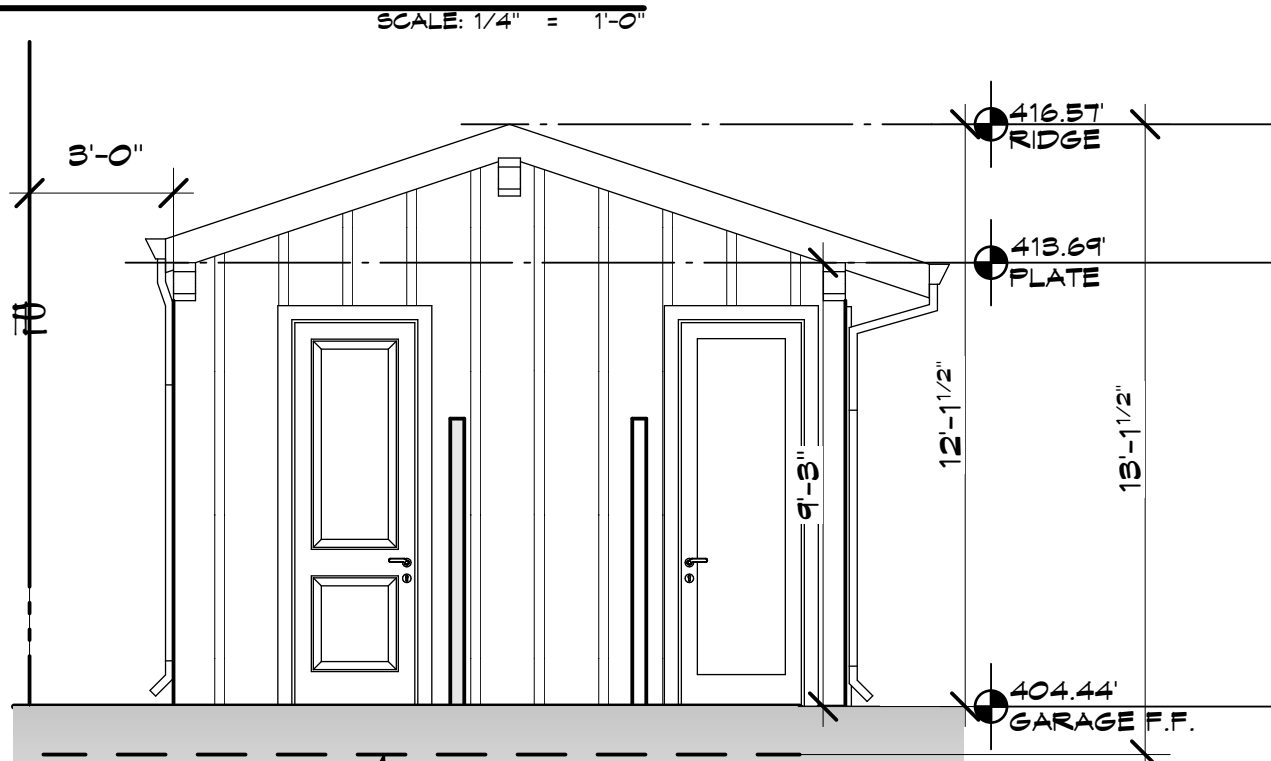
SHEET

A-3

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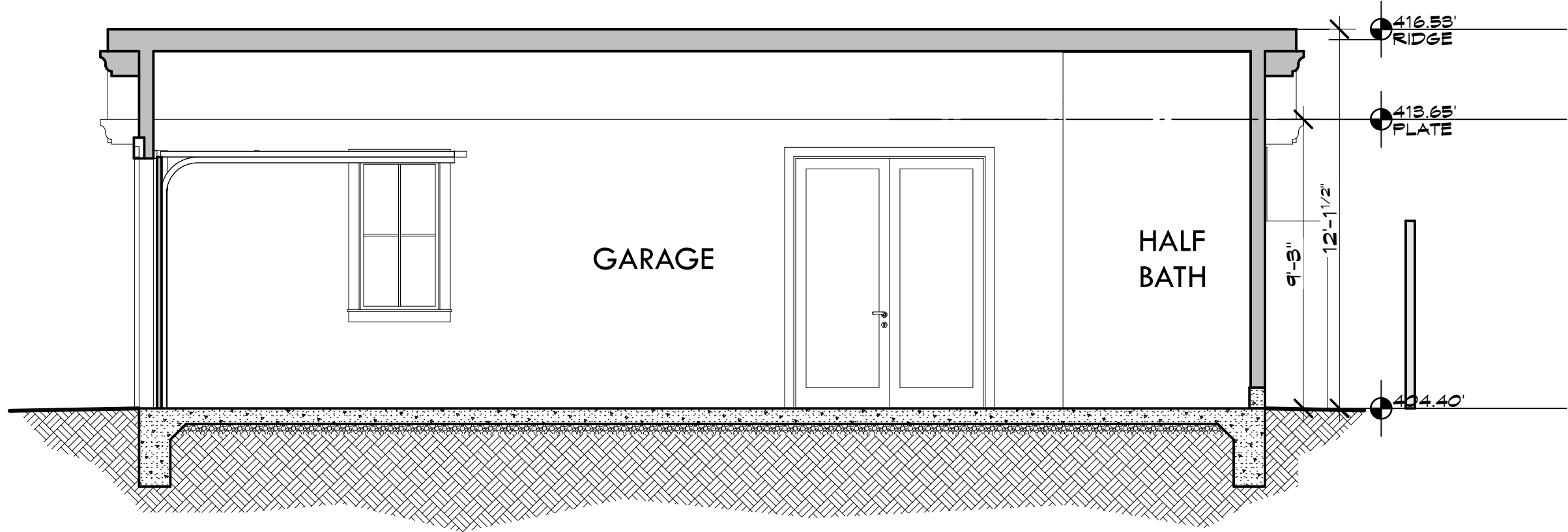


GARAGE RIGHT ELEVATION



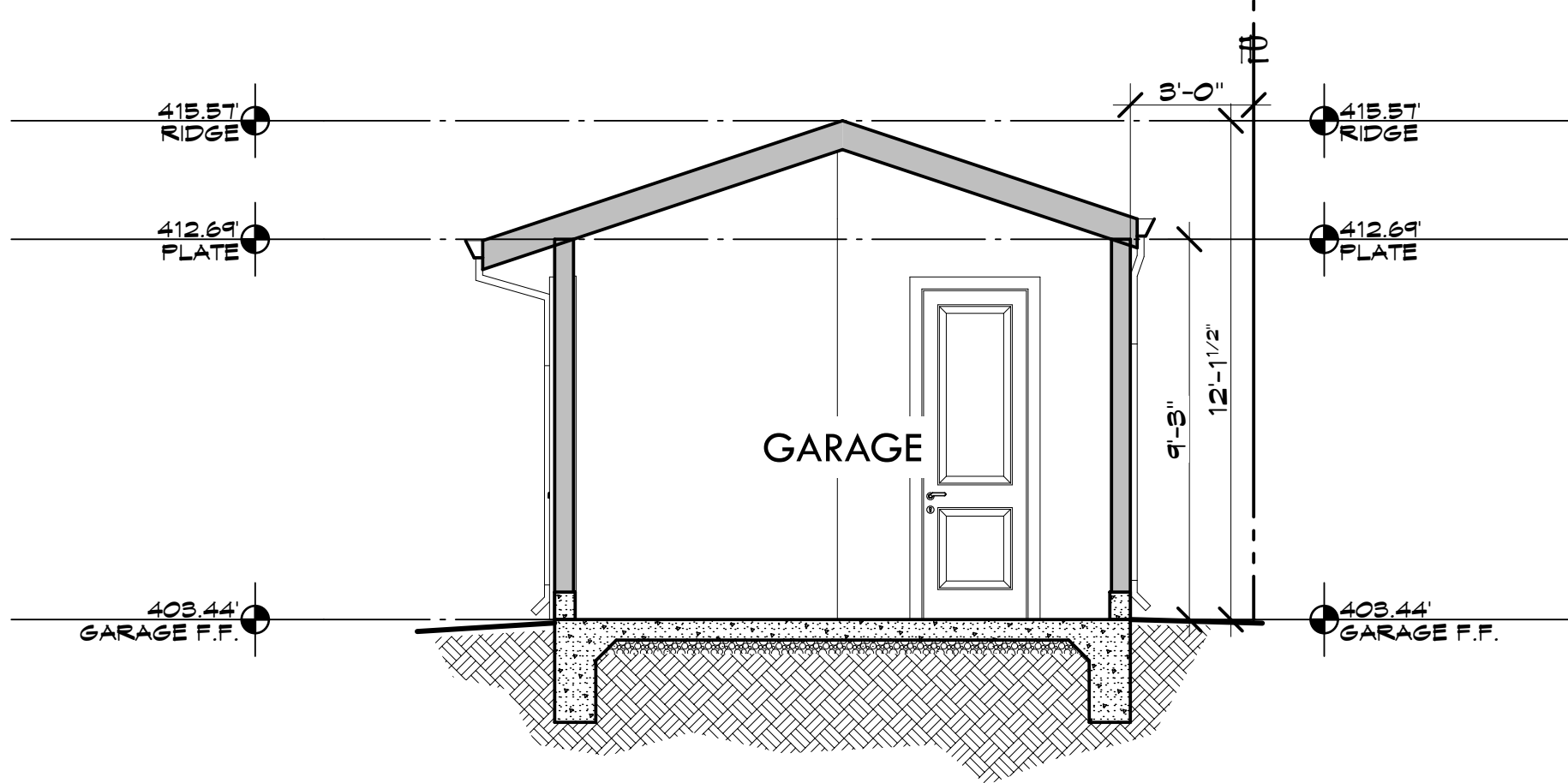
GARAGE REAR ELEVATION

SCALE: 1/4" = 1'-0"



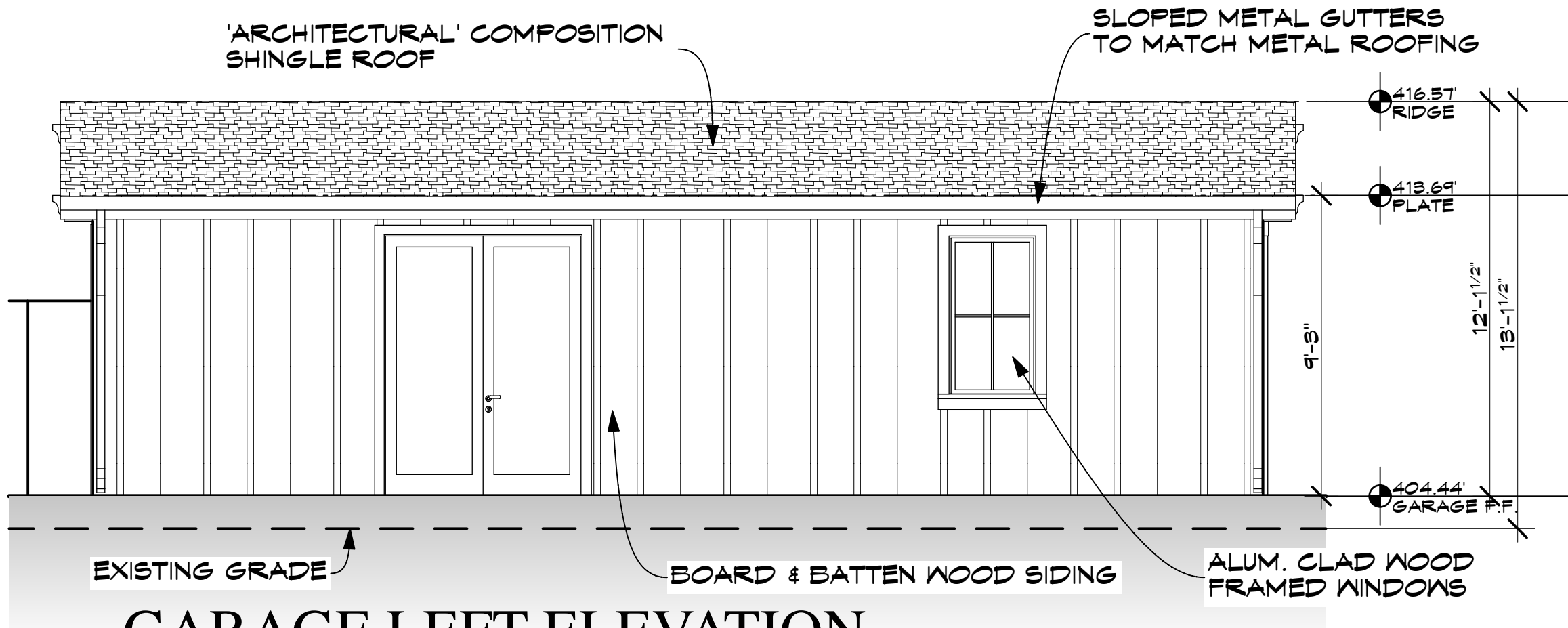
SECTION E-E

SCALE: 1/4" = 1'-0"



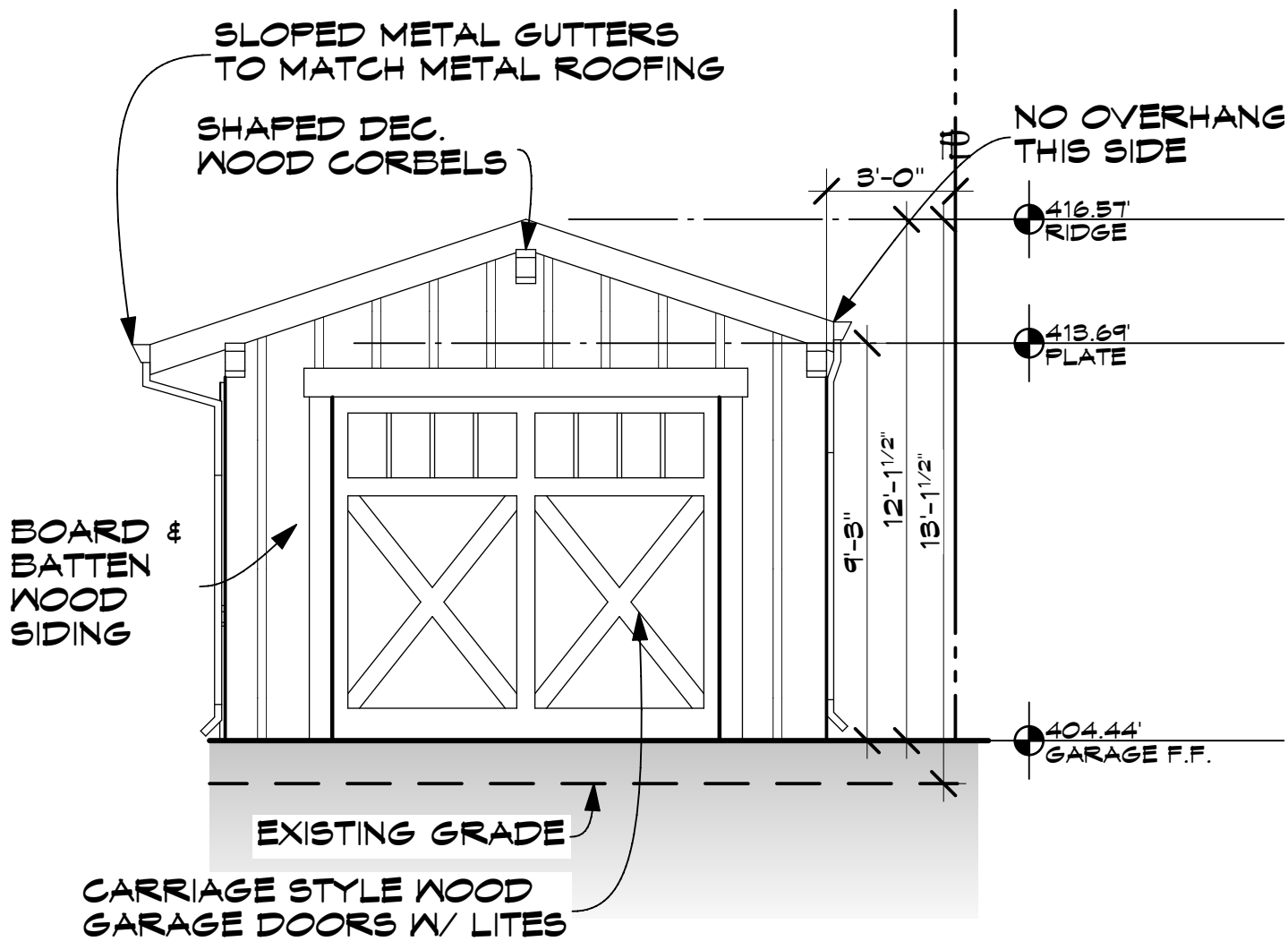
SECTION F-F

SCALE: 1/4" = 1'-0"



GARAGE LEFT ELEVATION

SCALE: 1/4" = 1'-0"

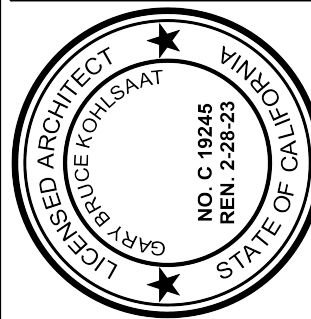


GARAGE FRONT ELEVATION

SCALE: 1/4" = 1'-0"

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GARAGE
ELEVATIONS/
SECTIONS

DATE: 8/30/21

SCALE: AS SHOWN

SHEET

A-4

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